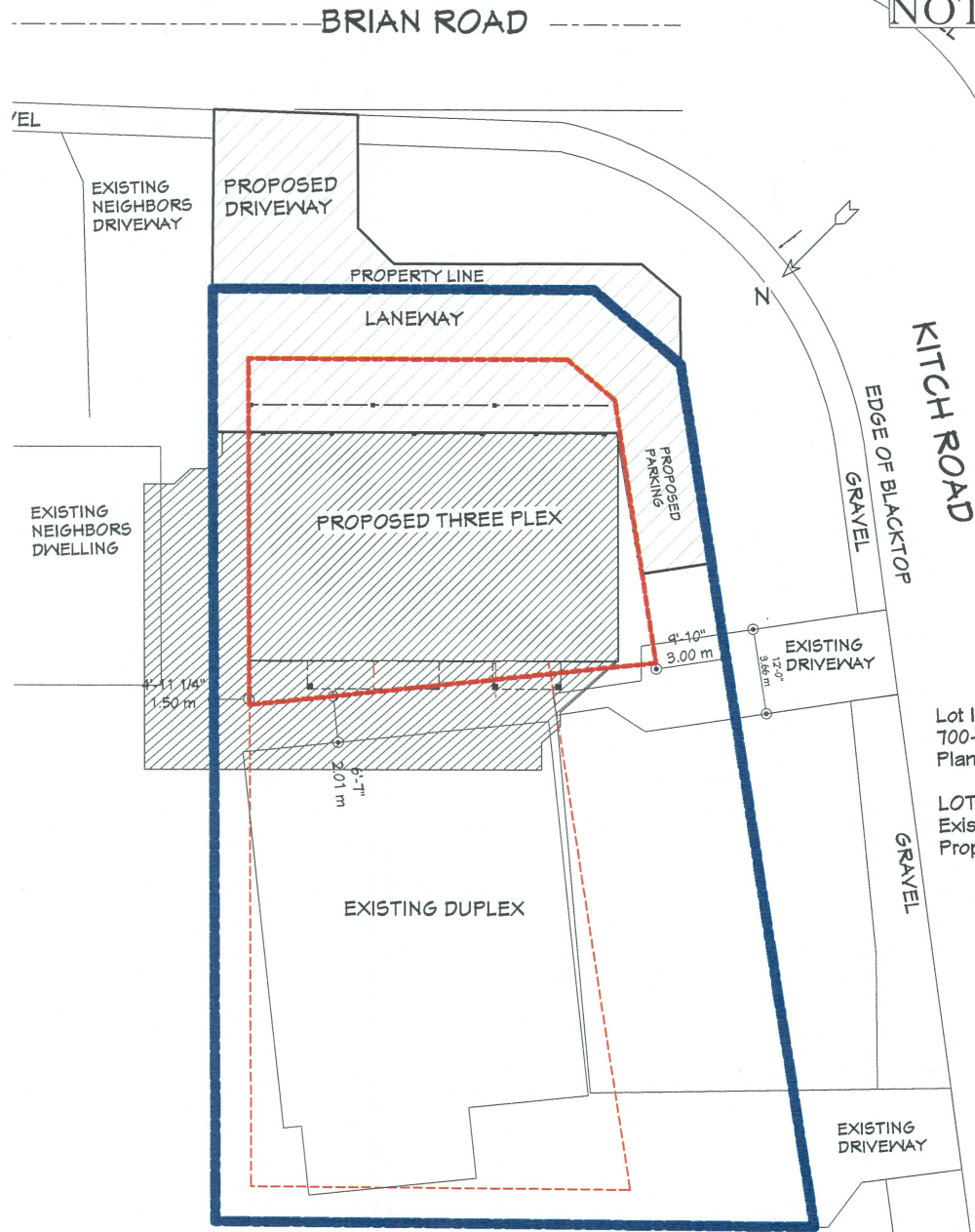


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ISSUED FOR REVIEW  
NOT FOR CONSTRUCTION

Lot Information  
700-702 Kitch Road  
Plan: KAP19161 Lot: 40 Block:

LOT SIZE - .22 acres (890 sqm) - 9579.88 sq. ft.  
Existing Building Area - 2488 sq. ft.  
Proposed Building Area - 1642.67 sq ft

**SITE PLAN**

PROJECT # A1725 - HUSAK

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RESPONSIBILITY TO VERIFY ALL  
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COMMENCEMENT OF WORK.  
WRITTEN DIMENSIONS TAKE  
PRECEDENCE, DO NOT SCALE  
DRAWING.

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**EXCITING HOME PLANS**  
FOR ORDERS & INFORMATION  
1-888-543-6668  
PROJECT # A1725 - HUSAK - 70 KITCH ROAD

Lot Information:  
Lot 40, Plan KAP19161  
Civic Address:  
700-702 Kitch Road

Client:  
Aaron Husak

DRAWING TITLE:  
SITE PLAN

PAGE:  
Site1

DATE 2024-08-16  
JOB # 1/8" = 1'-0"  
SCALE 1/4" = 1'-0"  
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### LEGEND

- ASPHALT PAVING FOR PARKING
- XERISCAPE & PLANTING BEDS

NOTE: ALL PLANTING BEDS TO BE IRRIGATED  
AND HAVE LAVASCAPE ROCK OVER FABRIC.

#### PLANT LIST:

DEER GRASS - MUHLENBERGIA RIGENS

KIMBERLEY WILD ROSE - ROSA WOODSIL  
KIMBERLEY

BLUE FALSE INDIGO - BAPTISIA AUSTRALIS

AUTUMN BLAZE MAPLE - ACER FREEMANTII  
"AUTUMN BLAZE"

Lot Information  
700-702 Kitch Road  
Plan: KAP19161 Lot: 40 Block:

LOT SIZE - .22 acres (890 sqm) - 9579.88 sq. ft.  
Existing Building Area - 2488 sq. ft.  
Proposed Building Area - 1642.67 sq ft

### LANDSCAPING PLAN

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PROJECT # A1725 - HUSAK - 70 KITCH ROAD

Lot Information:  
Lot 40, Plan KAP19161  
Civic Address:  
700-702 Kitch Road

Client:  
Aaron Husak

DRAWING TITLE:  
LANDSCAPING  
PLAN

PAGE:  
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DATE 2024-08-16  
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Lot Information:  
Lot 40, Plan KAP19161  
Civic Address:  
700-702 Kitch Road

Client:  
Aaron Husak

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RENDERING

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3D Rendering of Proposed Development

70-72 Kitch Road - Kelowna B.C.





REAR 3D VIEW



FRONT 3D VIEW

70-72 Kitch Road - Kelowna B.C.

Project # A1725

### GENERAL NOTES

- IT IS THE RESPONSIBILITY OF THE CLIENT AND/OR THEIR BUILDER AGENT TO CHECK ALL LOCAL BYLAW AND CODE REQUIREMENTS, SITE AND SOIL CONDITIONS AND ENSURE THEY ARE MET.
- ALL LOCAL BYLAW AND CODE REQUIREMENTS MUST BE MET, AND ANY SPECIFICATIONS NOTED IN THESE DRAWINGS MUST BE ALTERED BY THE CLIENT AND/OR HIS AGENT BUILDER TO MEET THOSE CODES IF AND WHEN NECESSARY.
- IF SOIL CONDITIONS WARRANT, CONCRETE FOUNDATION AND FOOTING SIZING AND SPECIFICATIONS MUST BE CALCULATED BY A LOCAL ENGINEER OR ENGINEERS REGISTERED IN THAT DISCIPLINE.
- CONCRETE FOOTING DEPTHS AND SIZES MUST MEET LOCAL CLIMATE, CODE AND LOCAL BYLAW REQUIREMENTS.
- CONCRETE TYPE MUST MEET SOIL CONDITIONS AND ALL LOCAL BYLAW AND CODE REQUIREMENTS PERTAINING TO FOUNDATION MATERIALS MUST BE MET.

PROFESSIONALS AND ENGINEERS REQUIRED TO COMPLETE THESE TASKS MAY OR MAY NOT INCLUDE:

- STRUCTURAL ENGINEER FOR FOUNDATION DESIGN AND SPECIFICATIONS,
- GEOTECHNICAL ENGINEER FOR SOIL TESTING AND SPECIFICATIONS,
- LOCAL ARCHITECT REGISTERED TO DO RESIDENTIAL CALCULATIONS.

EVERY EFFORT HAS BEEN MADE TO ENSURE THAT THESE CONSTRUCTION DRAWINGS ARE FREE OF ERRORS.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR OR THE CONTRACTORS AGENTS TO CHECK AND VERIFY ALL DIMENSIONS AND MATERIALS SIZES AND DEFINITIONS LISTED ON THESE DRAWINGS. THE BUILDING CONTRACTOR IS RESPONSIBLE FOR UNDERSTANDING AND APPLYING PROPER BUILDING PRACTICES.

THE DESIGNER SHALL NOT BE HELD LIABLE FOR ANY ERRORS, OMISSIONS, OR DEFICIENCIES IN ANY FORM BY ANY PARTY WHATSOEVER.

THERE ARE NO PRODUCT ENDORSEMENTS IMPLIED FOR ANY OF THE MATERIALS LISTED ON THESE DRAWINGS.

PROPER INSTALLATION OF CONSTRUCTION ASSEMBLIES INCLUDING NAILING, GLUING, CAULKING, INSULATING, FLASHING, ROOFING, WEATHERPROOFING AND MANY OTHER SMALL ITEMS AND DETAILS ARE NOT NECESSARILY IDENTIFIED OR NOTED ON THE PLANS. THE DESIGNER HAS NO CONTROL OR RESPONSIBILITY OVER THESE ITEMS.

### GENERAL SITE NOTES:

ALL PERSONS ON SITE MUST WEAR HARD HATS AND PROPER FOOTWEAR. BUILDER MUST TAKE CARE THAT ALL WALLS IN CONSTRUCTION ARE BRACED PROPERLY. BUILDER MUST TAKE CARE TO PLACE TEMPORARY RAILINGS AROUND OPENINGS IN FLOORS AND CEILINGS. BUILDER MUST TAKE CARE THAT SITE IS PROPERLY BLOCKED OFF AND MARKED "CONSTRUCTION SITE"

### CONCRETE NOTES:

UNLESS OTHERWISE NOTED, THE COMPRESSIVE STRENGTH FOR UNREINFORCED CONCRETE AFTER 28 DAYS SHALL NOT BE LESS THAN 32 MPa FOR GARAGE AND CARPORT FLOOR & ALL EXTERIOR FLATWORK, 20MPa WHERE REQUIRED BY TABLE 9.15.4.1 FOR FOUNDATION WALLS & 15MPa FOR ALL OTHER APPLICATIONS.

### FOOTING NOTES:

20MPa CONC. STRIP FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL CAPABLE OF BEARING 3000 PSF LOAD. BOTTOM OF FOOTINGS TO BE AT OR BELOW FROST LINE DESIGNATED BY LOCAL BYLAWS OR CODE. STEPPED FOOTINGS TO BE PROVIDED (WHERE REQUIRED BY GRADE) TO BE STEPPED MAX. 24" RISE AND MIN. 24" HORIZONTAL, UNLESS OTHERWISE SPECIFIED. 4" PERFORATED PLASTIC FOUNDATION DRAIN PIPE (TIED INTO SUMP WHERE REQ'D) - COVERED WITH 6" CLEAR STONE & FILTER CLOTH, IN LINE WITH BTM IF FTGS. AT PERIMETER OF BLDG. MIN. 1/4" PARING (EXTERIOR) TO 12" BELOW GRADE.

NOTES ON DESIGN ELEMENTS EXCEEDING CODE REQUIREMENTS:

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### GENERAL CONSTRUCTION NOTES

#### BEAM AND STRUCTURAL DESIGN NOTES:

- (F) NOTE ON BEAMS DESIGNATES FLUSH, MEANING EITHER THE TOP OR BOTTOM OF THE BEAM TO NOT PROTRUDE PAST FINISHED PLANE.
- (D) NOTE ON BEAMS INDICATES A DROPPED, MEANING THE BEAM IS PLACED UNDER THE SUPPORTED STRUCTURE.
- (SEMI-F) NOTE ON BEAMS INDICATES A PARTIALLY DROPPED BEAM TO ALLOW FOR IMPACTED OPENINGS, OR TO ALLOW HEATING DUCTS TO PASS OVER. SEE DETAIL.

#### STRUCTURAL POST NOTES:

- (LB) "LOAD BEARING POST" AT BEAM ENDS OR OTHER LOAD BEARING POINTS. REQUIRES STUDS TO BE NAILED TOGETHER TO FORM A STRUCTURAL POST (4X4,6X6,4X6).

#### LUMBER NOTES:

ALL LUMBER TO BE GRADE STAMPED, LABELLED OR OTHERWISE IDENTIFIED, AS REQUIRED BY LOCAL BUILDING CODE

#### WINDOW & DOOR NOTES:

ALL WINDOW & DOOR MEASUREMENTS ARE IN FEET & INCHES. (5040 INDICATES 5'-0" x 4'-0") CHECK ALL TOP OF WINDOW ROUGH OPENING HEIGHTS PRIOR TO FRAMING. ACTUAL DIMENSIONS OF ROUGH OPENINGS VARY DEPENDING ON MANUFACTURER. ALL WINDOW SIZES, TYPES, AND OPENERS TO BE CHECKED BY CONTRACTOR PRIOR TO ORDERING. TAKE CARE TO CHECK LOCAL BUILDING CODE FOR GLASS REGULATIONS SUCH AS TEMPERED GLASS, EGRESS LOCATIONS AND LIMITATIONS ON THE SIZE OF UNPROTECTED OPENINGS NEXT TO NEIGHBORING BUILDINGS PRIOR TO ORDERING. ALL WINDOWS TO MEET ENERGY RATING OF 17ER FOR OPERATING WINDOWS & 27ER FOR FIXED WINDOWS PER CAN/CSA-A440-2. EXTERIOR DOORS TO BE METAL INSULATED OR SOLID CORE WOOD DOORS, W/ WEATHERSTRIPPING.

#### ENGINEERED WOOD PRODUCTS NOTES:

ENGINEERED WOOD SUPPLIER/TRUSS MFR. TO PROVIDE ENGINEERED DRAWINGS, SEALED BY A P.ENG. LICENSED TO PRACTICE IN THIS HOMEPLAN'S BUILDING LOCATION, FOR THE BUILDING INSPECTOR TO REVIEW ON SITE.

#### FLOOR JOIST SYSTEM NOTES:

ENGINEERED JOISTS (TJI) FLOOR SYSTEMS ARE ASSUMED ON THESE DRAWINGS. JOIST SPANS AND JOIST DEPTHS MAY VARY DEPENDING ON THE MANUFACTURER. IF DIMENSIONAL LUMBER JOISTS ARE USED, CALCULATIONS MUST MEET LOCAL CODES FOR LOAD BEARING, SIZE AND SPACING. CONTRACTOR MUST TAKE CARE THAT ALL BLOCKING, STRAPPING AND BRACING IS COMPLETED PER MANUFACTURERS SPECIFICATIONS AND DRAWINGS.

#### ROOF DESIGN & CONSTRUCTION NOTES:

NOTES TO ROOF MANUFACTURERS  
- ROOF DESIGNER TO CONSIDER DIMENSIONAL LUMBER FOR BEAMS NOTED "ENG. BEAM" AND SUBSTITUTE WHERE STRUCTURALLY POSSIBLE BY CODE.  
- TRUSS HEELS IN ALL APPLICATIONS MUST HAVE A MINIMUM 8" HEEL FOR INSULATION PURPOSES.  
- CONTRACTOR MUST TAKE CARE THAT ALL BLOCKING, STRAPPING AND BRACING IS COMPLETED PER MANUFACTURERS SPECIFICATIONS AND DRAWINGS.  
- CONTRACTOR IS TO ENSURE G.I. FLASHINGS ARE PLACED IN ALL ROOF VALLEYS FOR PROPER RUNOFF.  
- CONTRACTOR IS TO ENSURE THAT G.I. STEP FLASHINGS ARE PLACED WHEREVER WALLS AND CHIMNEYS MEET ROOF SURFACES, AND THAT STEP FLASHINGS ARE PLACED FOR PROPER RUNOFF.

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**EXCITING HOME PLANS**  
FOR ORDERS & INFORMATION  
1-888-543-6668  
PROJECT # A1725 - HUSAK - 70 KITCH ROAD

Lot Information:  
Lot 40 - Plan KAP19161  
Civic Address:  
700-702 Kitch Road

Client:  
Aaron Husak

DRAWING TITLE:  
3D  
PERSPECTIVE

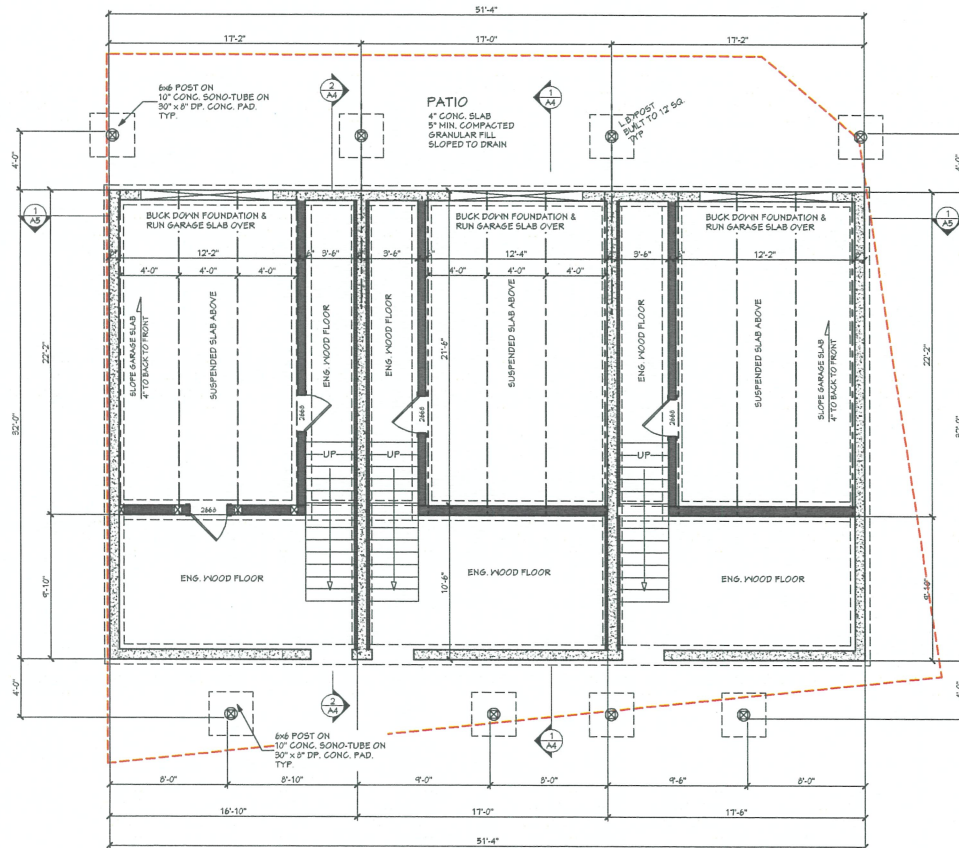
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PROJECT # A1725 - HUSAK



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FOUNDATION PLAN

9.15.4.1 FOR FOUNDATION WALLS & 15MPa FOR ALL OTHER APPLICATIONS.

**FOOTING NOTES:**  
20MPa CONC. STRIP FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL CAPABLE OF BEARING 3000 PSF LOAD.  
BOTTOM OF FOOTINGS TO BE AT OR BELOW FROST LINE DESIGNATED BY LOCAL BYLAWS OR CODE.  
STEPPED FOOTINGS TO BE PROVIDED (WHERE REQUIRED BY GRADE) TO BE STEPPED MAX. 24" RISE AND MIN. 24" HORIZONTAL, UNLESS OTHERWISE SPECIFIED.  
4" PERFORATED PLASTIC FOUNDATION DRAIN PIPE (TIED INTO SUMP WHERE REQ'D) - COVERED WITH 6" CLEAR STONE & FILTER CLOTH, IN LINE WITH BTM IF FTGS. AT PERIMETER OF BLDG.  
MIN. 1/4" PARING (EXTERIOR) TO 12" BELOW GRADE.

## GENERAL CONSTRUCTION NOTES

### BEAM AND STRUCTURAL DESIGN NOTES:

- (F) NOTE ON BEAMS DESIGNATES FLUSH, MEANING EITHER THE TOP OR BOTTOM OF THE BEAM TO NOT PROTRUDE PART FINISHED PLANE.
- (D) NOTE ON BEAMS INDICATES A DROPPED, MEANING THE BEAM IS PLACED UNDER THE SUPPORTED STRUCTURE.
- (SEM-F) NOTE ON BEAMS INDICATES A PARTIALLY DROPPED BEAM TO ALLOW FOR IMPACTED OPENINGS, OR TO ALLOW HEATING DUCTS TO PASS OVER. SEE DETAIL.

### STRUCTURAL POST NOTES:

- (LB) "LOAD BEARING POST" AT BEAM ENDS OR OTHER LOAD BEARING POINTS. REQUIRES STUDS TO BE NAILED TOGETHER TO FORM A STRUCTURAL POST (4X4, 6X6, 4X6).

### INTERIOR BEARING WALLS:

2x4 STUD OR 2x6 STUD WALL CONSTRUCTION UNDER ENG. FLOOR SYSTEMS: ALL OPENINGS IN INTERIOR BEARING WALLS ARE TO BE CONSTRUCTED WITH STRUCTURAL LINTELS PER FLOOR SUPPLIERS SPECIFICATIONS. UNDER DIMENSIONAL LUMBER FLOORS: SEE LOCAL CODE FOR RESIDENTIAL BEAM SPAN LOAD CALCULATIONS.

### LUMBER NOTES:

ALL LUMBER TO BE GRADE STAMPED, LABELLED OR OTHERWISE IDENTIFIED, AS REQUIRED BY LOCAL BUILDING CODE

### WINDOW & DOOR NOTES:

ALL WINDOW & DOOR MEASUREMENTS ARE IN FEET & INCHES.  
[5040 INDICATES 5'-0" x 4'-0"] CHECK ALL TOP OF WINDOW ROUGH OPENING HEIGHTS PRIOR TO FRAMING.  
ACTUAL DIMENSIONS OF ROUGH OPENINGS VARY DEPENDING ON SUPPLIER. ALL WINDOW SIZES, TYPES, AND OPENERS TO BE CHECKED BY CONTRACTOR PRIOR TO ORDERING.  
TAKE CARE TO CHECK LOCAL BUILDING CODE FOR GLASS REGULATIONS SUCH AS TEMPERED GLASS, EGRESS LOCATIONS AND LIMITATIONS ON THE SIZE OF UNPROTECTED OPENINGS NEXT TO NEIGHBORING BLDGS. PRIOR TO ORDERING.  
ALL WINDOWS TO MEET ENERGY RATING OF 17ER FOR OPERATING WINDOWS & 27ER FOR FIXED WINDOWS PER CAN/CSA-A440-2.  
EXTERIOR DOORS TO BE METAL INSULATED OR SOLID CORE WOOD DOORS, W/ WEATHERSTRIPPING.

### ENGINEERED WOOD PRODUCTS NOTES:

#### FLOOR JOIST SYSTEM NOTES:

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CONTRACTOR MUST TAKE CARE THAT ALL BLOCKING, STRAPPING AND BRACING IS COMPLETED PER MANUFACTURERS SPECIFICATIONS AND DRAWINGS.

#### ROOF DESIGN & CONSTRUCTION NOTES:

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PROJECT # A1725 - HUSAK

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HOME PLANS

FOR ORDERS & INFORMATION

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PROJECT # A1725 - HUSAK - 70 KITCH ROAD

Lot Information:  
Lot 40, Plan KAP19161  
Civic Address:  
700-702 Kitch Road

Client:  
Aaron Husak

DRAWING TITLE:  
FOUNDATION &  
LOWER FLOOR  
PLANS

PAGE:  
A1

DATE 2024-08-16  
JOB # 14" x 11-2"  
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CHECKED GSH



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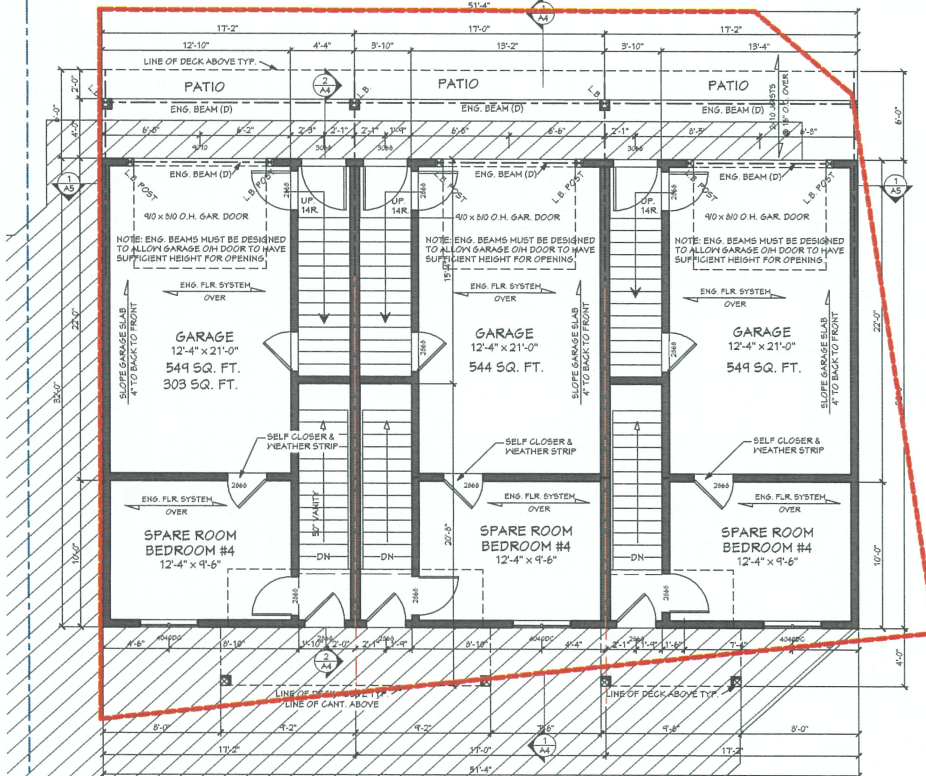
Lot Information:  
Lot 40, Plan KAP19161  
Civic Address:  
700-702 Kitch Road

Client:  
Aaron Husak

DRAWING TITLE:  
**GROUND & MAIN FLOOR PLAN**

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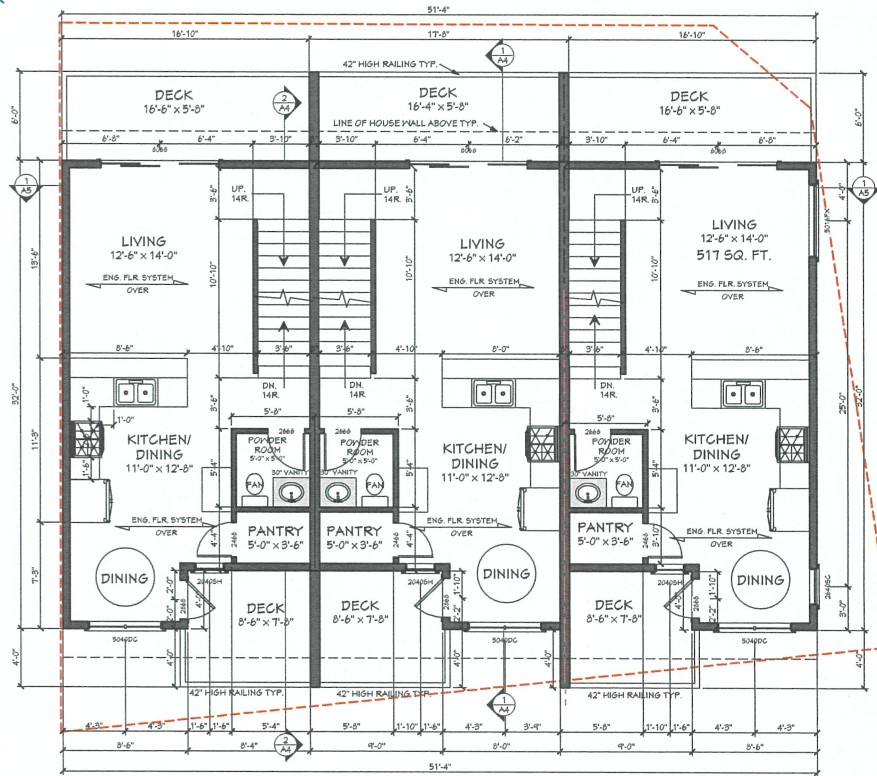
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**GROUND LEVEL FLOOR PLAN**

8' CEILING HEIGHT UNLESS NOTED OTHERWISE  
FINISHED FLOOR AREA = 1643 SQ. FT.  
TOTAL AREA = 549 SQ. FT.  
GARAGE AREA = 303 SQ. FT.  
FINISHED AREA = 246 SQ. FT.

NOTE:  
ALL TOP OF WINDOW ROUGH OPENINGS  
TO BE 50" ABOVE FLOOR SURFACE.  
ALL WINDOWS AND DOORS TO MEET NORTH  
AMERICAN FENESTRATION STANDARD  
(NAFS)



**MAIN FLOOR PLAN**

GRADE LEVEL FLOOR - 549 SQ. FT. GRADE LEVEL FLOOR - 544 SQ. FT. GRADE LEVEL FLOOR - 549 SQ. FT.  
MAIN FLOOR - 515 SQ. FT. MAIN FLOOR - 509 SQ. FT. MAIN FLOOR - 515 SQ. FT.  
UPPER FLOOR - 618 SQ. FT. UPPER FLOOR - 612 SQ. FT. UPPER FLOOR - 618 SQ. FT.

NOTE:  
ALL TOP OF WINDOW ROUGH OPENINGS  
TO BE 50" ABOVE FLOOR SURFACE.  
ALL WINDOWS AND DOORS TO MEET NORTH  
AMERICAN FENESTRATION STANDARD (NAFS)

## GENERAL CONSTRUCTION NOTES:

### BEAM AND STRUCTURAL DESIGN NOTES:

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### LUMBER NOTES:

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### ENGINEERED WOOD PRODUCTS NOTES:

ENGINEERED WOOD SUPPLIER/TRUSS MFR. TO PROVIDE ENGINEERED DRAWINGS, SEALED BY A P. ENG. LICENSED TO PRACTICE IN THIS HOMEPLAN'S BUILDING LOCATION, FOR THE BUILDING INSPECTOR TO REVIEW ON SITE.

### FLOOR JOIST SYSTEM NOTES:

ENGINEERED JOISTS (TJI) FLOOR SYSTEMS ARE ASSUMED ON THESE DRAWINGS.  
JOIST SPANS AND JOIST DEPTHS MAY VARY DEPENDING ON THE MANUFACTURER.  
IF DIMENSIONAL LUMBER JOISTS ARE USED, CALCULATIONS MUST MEET LOCAL CODES FOR LOAD BEARING, SIZE AND SPACING.  
CONTRACTOR MUST TAKE CARE THAT ALL BLOCKING, STRAPPING AND BRACING IS COMPLETED PER MANUFACTURERS SPECIFICATIONS AND DRAWINGS.

### ROOF DESIGN & CONSTRUCTION NOTES:

NOTES TO ROOF MANUFACTURERS  
- ROOF DESIGNER TO CONSIDER DIMENSIONAL LUMBER FOR BEAMS NOTED "ENG. BEAM" AND SUBSTITUTE WHERE STRUCTURALLY POSSIBLE BY CODE.  
- TRUSS HEELS IN ALL APPLICATIONS MUST HAVE A MINIMUM 8" HEEL FOR INSULATION PURPOSES.  
- CONTRACTOR MUST TAKE CARE THAT ALL BLOCKING, STRAPPING AND BRACING IS COMPLETED PER MANUFACTURERS SPECIFICATIONS AND DRAWINGS.  
- CONTRACTOR IS TO ENSURE G.I. FLASHINGS ARE PLACED IN ALL ROOF VALLEYS FOR PROPER RUNOFF.  
- CONTRACTOR IS TO ENSURE THAT G.I. STEP FLASHINGS ARE PLACED WHEREVER WALLS AND CHIMNEYS MEET ROOF SURFACES, AND THAT STEP FLASHINGS ARE PLACED FOR PROPER RUNOFF.

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PROJECT # A1725 - HUSAK

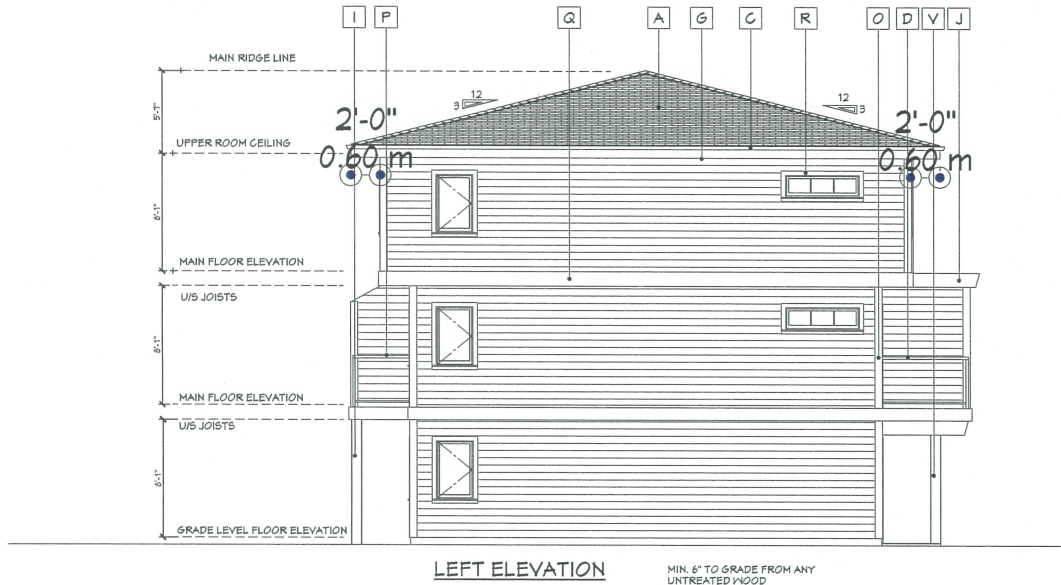
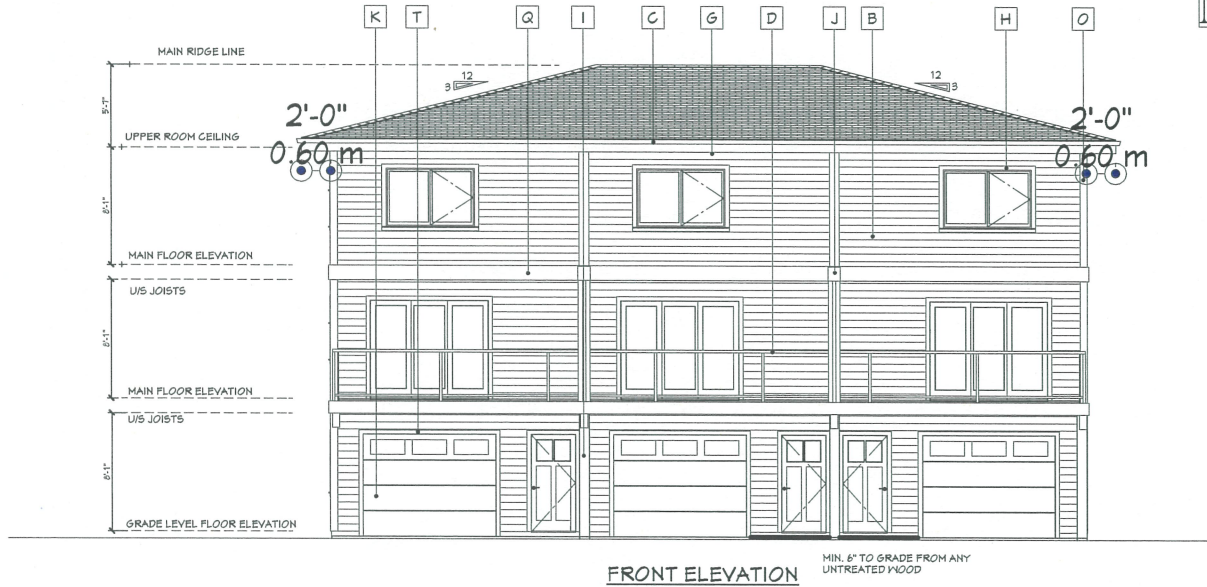






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# ISSUED FOR REVIEW NOT FOR CONSTRUCTION



- [B] EXTERIOR WALLS - HARDIE-PLANK SIDING
- [C] PRE FIN. ALUM. GUTTER & DOWNSPOUTS
- [D] 42" HIGH PREFIN. ALUM & GLASS DECK RAILING (AS PER LOCAL CODE REQUIREMENTS)
- [E] STONE OR BRICK VENEER
- [F] HARDIE-SHAKE GABLE END FINISH
- [G] PREFIN. ALUM. SOFFIT
- [H] FRONT ELEV. WINDOW & DOOR TRIM  
6" HORIZ. HARDIE TRIM  
3" WRAP AT SIDES  
4" VERT. HARDIE TRIM
- [I] FRONT ELEVATION COLUMNS  
DECOR. WOOD CAPITALS  
18" SQ. FRAMED OUT COLUMN w/  
WOOD BASE SURROUND ON  
MASONRY VENEER BASE w/  
PREFINISHED SILL
- [J] DECORATIVE BRACKETS
- [K] GARAGE DOOR
- [L] 10" HARDIE HORIZ. GABLE BAND
- [M] GABLE END TIMBER FRAME
- [N] 4" ON 10" HARDIE GABLE FASCIA
- [O] 6" HARDIE WALL CORNER BOARDS
- [P] FRONT ELEVATION PICKET RAILING
- [Q] 2" x 10" HARDIE BELLY BAND
- [R] 4" HARDIE WINDOW & DOOR TRIMS
- [S] ARCHITECTURAL TOOTHING
- [T] GARAGE DOOR TRIM  
6" HORIZ. HARDIE-BOARD  
4" VERT. HARDIE-BOARD
- [U] PREFIN. ALUM. FACED EXTERIOR ITEMS
- [V] REAR COLUMNS SPECIFICATION  
DECORATIVE WOOD CAPITALS ON  
18" SQ. FRAMED OUT COLUMNS w/  
WOOD BASE SURROUND

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**EXCITING HOME PLANS**  
FOR ORDERS & INFORMATION  
1-888-543-6668  
PROJECT # A1725 - HUSAK - 70 KITCH ROAD

Lot Information:  
Lot 40, Plan KA19161  
Civic Address:  
700-702 Kitch Road

Client:  
Aaron Husak

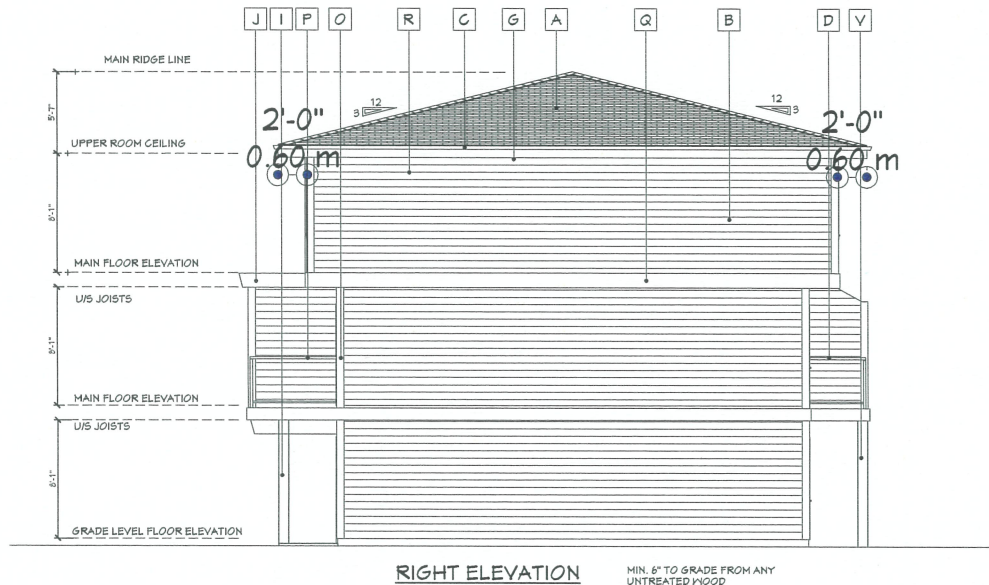
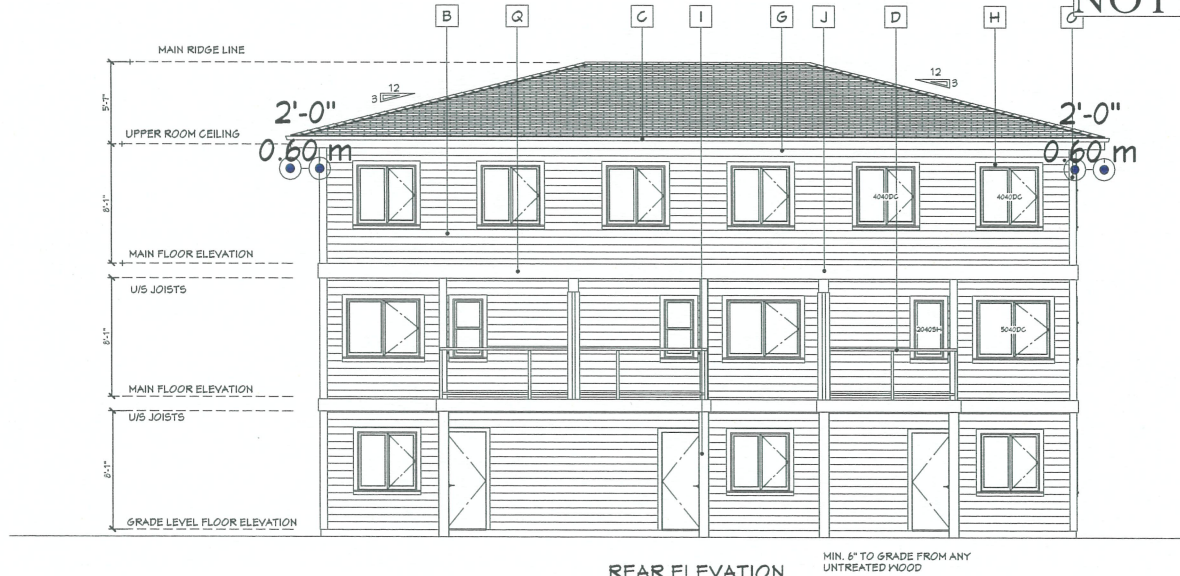
DRAWING TITLE:  
EXTERIOR  
ELEVATIONS

PAGE:  
A6

DATE 2024-08-16  
JOB #  
SCALE 1/4" = 1'-0"  
DRAWN BY GSH/MS  
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ISSUED FOR REVIEW  
NOT FOR CONSTRUCTION



- B EXTERIOR WALLS - HARDIE-PLANK SIDING
- C PRE FIN. ALUM. GUTTER & DOWNSPOUTS
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- E STONE OR BRICK VENEER
- F HARDIE-SHAKE GABLE END FINISH
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DRAWING TITLE:  
EXTERIOR  
ELEVATIONS

PAGE:  
A7

DATE: 2024-08-16  
JOB #  
SCALE: 1/4\"/>







## Meeting Community Needs

This triplex will contribute to much-needed infill housing in the community. Located in a walkable neighbourhood near schools and transit, it aligns with the City's vision for promoting higher-density housing options in strategic locations. By offering multiple dwelling units within a single structure, this project helps to address the growing demand for diverse housing options while maintaining the integrity of the community's character.



We are committed to delivering a project that enhances the vibrancy and livability of the neighbourhood. The triplex design not only complies with current zoning regulations but also adds value by providing accessible, sustainable housing options in a well-served area. We believe this development aligns with the City's planning goals and objectives. We look forward to your review and welcome any questions or feedback you may have.

Thank you for your consideration of this application. We are excited about the potential to contribute to the Kelowna community with this thoughtfully designed project.

Sincerely,

*Erika Kretchmer*

V.P. of Operations  
Aspen Lands Advisory Ltd.  
P: (250) 864-1605  
E: Erika@AspenLands.ca